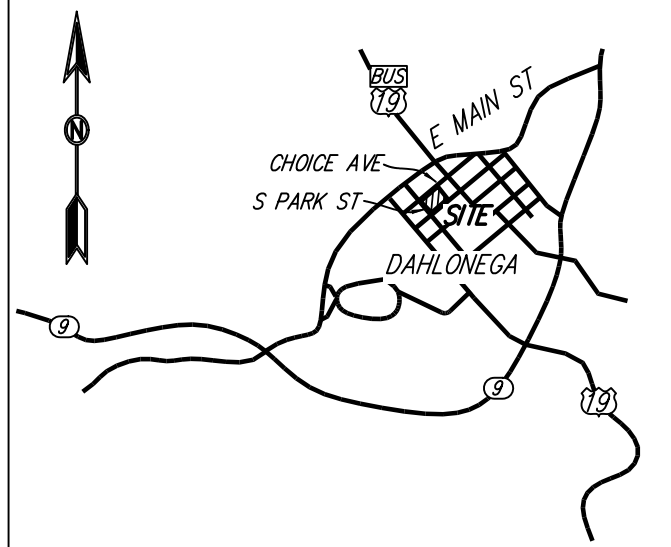


SITE DEVELOPMENT PLANS FOR: CHOICE AVENUE SIDEWALK AND PARKING IMPROVEMENTS



LOCATION MAP
N.T.S.

12TH DISTRICT, 1ST SECTION
CITY OF DAHLONEGA, GA

DES PROJECT NO.: 2019-232_1

OWNER/DEVELOPER
CITY OF DAHLONEGA
465 RILEY ROAD
DAHLONEGA, GA 30533
PHONE: (706) 864-6133
ATTN: MARK BUCHANAN
mbuchanan@dahlonega.gov
VINCE HUNSINGER
vhunsinger@dahlonega.gov

24-HOUR CONTACT
VINCE HUNSINGER
(706) 973-9933

SHEET INDEX	
1	COVER SHEET
2	EXISTING CONDITIONS/DEMO PLAN (1)
3	EXISTING CONDITIONS/DEMO PLAN (2)
4	SITE & GRADING (1)
5	SITE & GRADING (2)
6	CONSTRUCTION DETAILS

PREPARED BY:

**DES
DAVIS**
ENGINEERING & SURVEYING
133 PROMINENCE COURT
SUITE 210
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



REVISION	DATE	DESCRIPTION
-	-	-

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
THE LOCATION OF ALL UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND WERE OBTAINED FROM OBSERVATIONS AT THE SITE AND/OR FROM INFORMATION PROVIDED BY THE PROPERTY OR UTILITY OWNERS.
DAVIS ENGINEERING & SURVEYING, LLC DOES NOT GUARANTEE THAT THE LOCATIONS SHOWN ARE EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES, TO NOTIFY UTILITY OWNERS PRIOR TO CONSTRUCTION, AND TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS.

COPYRIGHT © 2022 THESE DRAWINGS ARE PROTECTED BY FEDERAL COPYRIGHT PROTECTION. UNAUTHORIZED USE OF THESE DRAWINGS, INCLUDING ANY REPRODUCTION OR COPY OF IT, WHETHER IN WHOLE OR IN PART, MAY RESULT IN AN INFRINGEMENT ACTION.

PROJECT DESCRIPTION:
CITY IMPROVEMENTS TO CHOICE AVENUE, INCLUDING NEW CURB & GUTTER, SIDEWALK REPLACEMENT, AND PATCHING/RESURFACING ADJACENT PARKING LOT.

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVE GROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

TOPOGRAPHIC AND ELEVATION DATA FROM LUMPKIN COUNTY GIS AND FIELD RUN TOPO BY DAVIS ENGINEERING AND SURVEYING, LLC.

CONTOUR INTERVAL = 2'

PROJECT BENCHMARK:
TBM USED IS TOP OF SANITARY SEWER MANHOLE LOCATED NEAR INTERSECTION OF CHOICE AVENUE AND PARK STREET (ELEV: 1436.49') N: 1648793.2424 E: 2351612.5330

NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE MAP NO. 13187C0161D, DATED 04/04/2018.

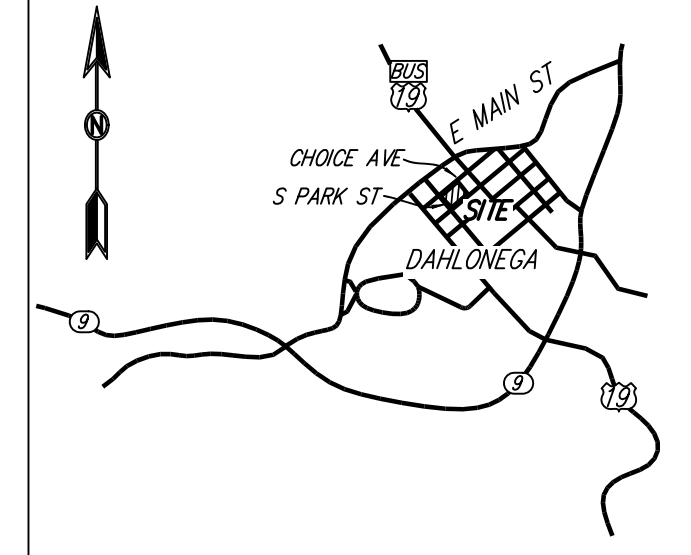
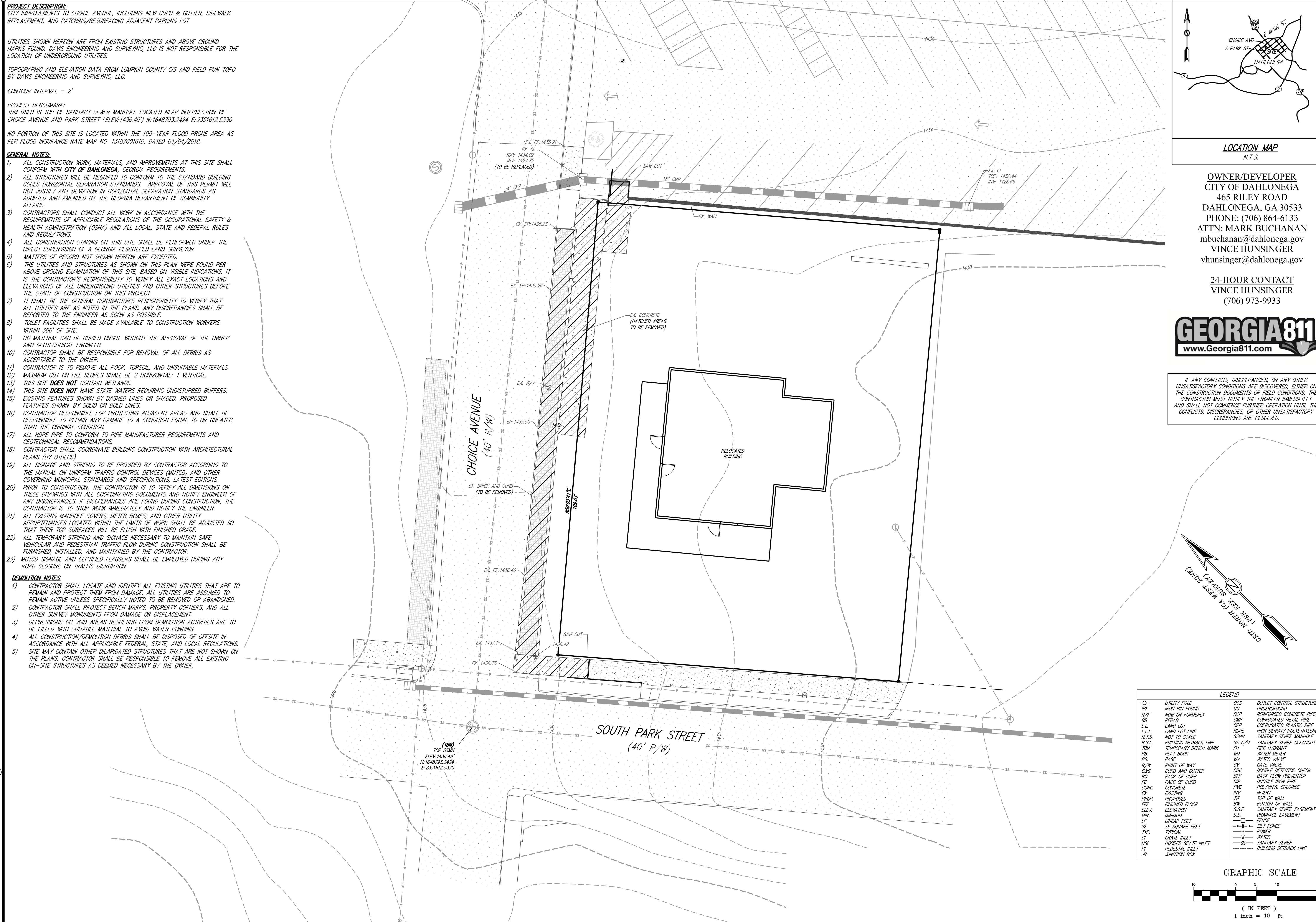
GENERAL NOTES:

- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF DAHLONEGA, GEORGIA REQUIREMENTS.
- ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
- CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
- MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
- THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
- TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
- NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS. MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
- THIS SITE DOES NOT CONTAIN WETLANDS.
- THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
- EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
- CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
- ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
- ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
- ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
- ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
- MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

DEMOLITION NOTES:

- CONTRACTOR SHALL LOCATE AND IDENTIFY ALL EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE. ALL UTILITIES ARE ASSUMED TO REMAIN ACTIVE UNLESS SPECIFICALLY NOTED TO BE REMOVED OR ABANDONED.
- CONTRACTOR SHALL PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT.
- DEPRESSIONS OR VOID AREAS RESULTING FROM DEMOLITION ACTIVITIES ARE TO BE FILLED WITH SUITABLE MATERIAL TO AVOID WATER PONDING.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- SITE MAY CONTAIN OTHER DILAPIDATED STRUCTURES THAT ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING ON-SITE STRUCTURES AS DEEMED NECESSARY BY THE OWNER.

COPYRIGHT © 2022. THESE DRAWINGS ARE PROTECTED BY FEDERAL COPYRIGHT PROTECTION. UNAUTHORIZED USE OF THESE DRAWINGS, INCLUDING ANY REPRODUCTION OR COPIES OF IT, WHETHER IN WHOLE OR IN PART, MAY RESULT IN AN IMMEDIATE ACTION.



LOCATION MAP
N.T.S.

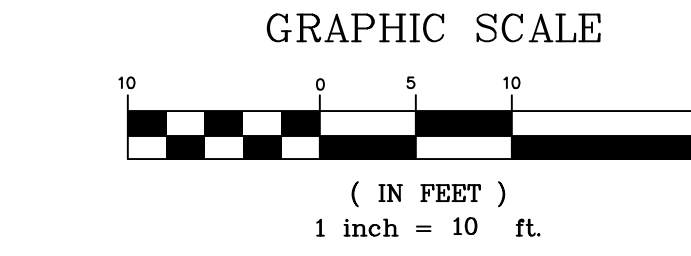
OWNER/DEVELOPER
CITY OF DAHLONEGA
465 RILEY ROAD
DAHLONEGA, GA 30533
PHONE: (706) 864-6133
ATTN: MARK BUCHANAN
mbuchanan@dahlonega.gov
VINCE HUNSINGER
vhunsinger@dahlonega.gov

24-HOUR CONTACT
VINCE HUNSINGER
(706) 973-9933



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

LEGEND			
○	UTILITY POLE	UCS	OUTLET CONTROL STRUCTURE
IPF	IRON PIN FOUND	UG	UNDERGROUND
IV/F	NOW OR FORMERLY	RCPP	REINFORCED CONCRETE PIPE
HB	HEADAR	CMP	CORRUGATED METAL PIPE
L.L.	LAND LOT	CPP	CORRUGATED PLASTIC PIPE
L.L.L.	LAND LOT LINE	HDPE	HIGH DENSITY POLYETHYLENE
N.T.S.	NOT TO SCALE	SSMH	SANITARY SEWER MANHOLE
ESL	BUILDING SETBACK LINE	SS C/O	SANITARY SEWER CLEANOUT
TBM	TEMPORARY BENCH MARK	FH	FIRE HYDRANT
FB	FLAT BOOK	WM	WATER METER
FR	FACE	WV	WATER VALVE
R/W	RIGHT OF WAY	GV	GATE VALVE
C&G	CURB AND GUTTER	DDC	DOUBLE DETECTOR CHECK
BC	BACK OF CURB	BFP	BACK FLOW PREVENTER
FC	FACE OF CURB	DIP	DUCTILE IRON PIPE
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE
EX.	EXISTING	INV	INVERT
PROP.	PROPOSED	TW	TOP OF WALL
FTE	FINISHED FLOOR	BW	BOTTOM OF WALL
ELEV.	ELEVATION	S.S.E.	SANITARY SEWER EASEMENT
MIN	MINIMUM	D.E.	DRAINAGE EASEMENT
LF	LINEAR FEET	—	TENDE
SF	SF SQUARE FEET	—	SILT FENCE
TRP	TYPICAL	—	POWER
W	WATER	—	WATER
HI	HATCHED GRATE INLET	—	SANITARY SEWER
PI	PEDESTAL INLET	—	BUILDING SETBACK LINE
JB	JUNCTION BOX		



DES DAVIS
ENGINEERING & SURVEYING
133 PROMINENCE COURT
SUITE 210
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
No. 034135
JASON K. DAVIS
7/26/22

REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS/DEMO PLAN (1 OF 2)
CHOICE AVENUE IMPROVEMENTS
LAND LOT
12TH DISTRICT, 1ST SECTION
CITY OF DAHLONEGA, GA

DRAWN BY: GRJ
CHECKED BY: JKD
LAND LOT: 985
DISTRICT: 12TH
SECTION: 1ST
CITY: DAHLONEGA
COUNTY: LUMPKIN
DATE: 5/8/21

SHEET NO.
2 OF 6
PROJECT NO.
2019-231.1

PROJECT DESCRIPTION:
CITY IMPROVEMENTS TO CHOICE AVENUE, INCLUDING NEW CURB & GUTTER, SIDEWALK REPLACEMENT, AND PATCHING/RESURFACING ADJACENT PARKING LOT.

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVE GROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

TOPOGRAPHIC AND ELEVATION DATA FROM LUMPKIN COUNTY GIS AND FIELD RUN TOPO BY DAVIS ENGINEERING AND SURVEYING, LLC.

CONTOUR INTERVAL = 2'

PROJECT BENCHMARK:
TBM USED IS TOP OF SANITARY SEWER MANHOLE LOCATED NEAR INTERSECTION OF CHOICE AVENUE AND PARK STREET (ELEV: 1436.49) N: 1648793.2424 E: 2351612.5330

NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE MAP NO. 13187C0161D, DATED 04/04/2018.

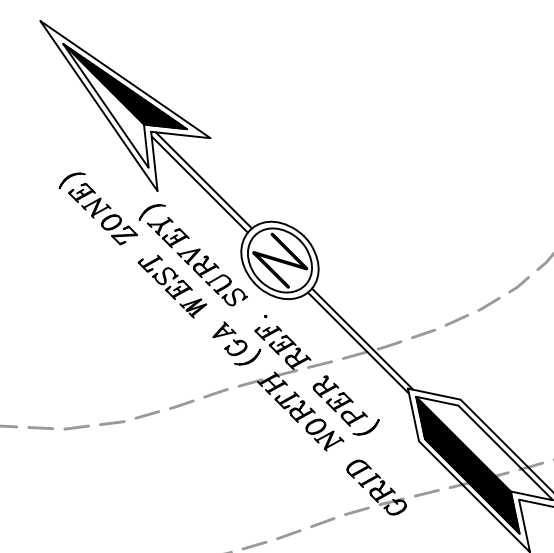
GENERAL NOTES:

- 1) ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF DAHLONEGA, GEORGIA REQUIREMENTS.
- 2) ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
- 3) CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- 4) ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
- 5) MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
- 6) THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
- 7) IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
- 8) TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
- 9) NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
- 10) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- 11) CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
- 12) MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
- 13) THIS SITE DOES NOT CONTAIN WETLANDS.
- 14) THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
- 15) EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
- 16) CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
- 17) ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
- 18) CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
- 19) ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
- 20) PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
- 21) ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
- 22) ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
- 23) MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

DEMOLITION NOTES:

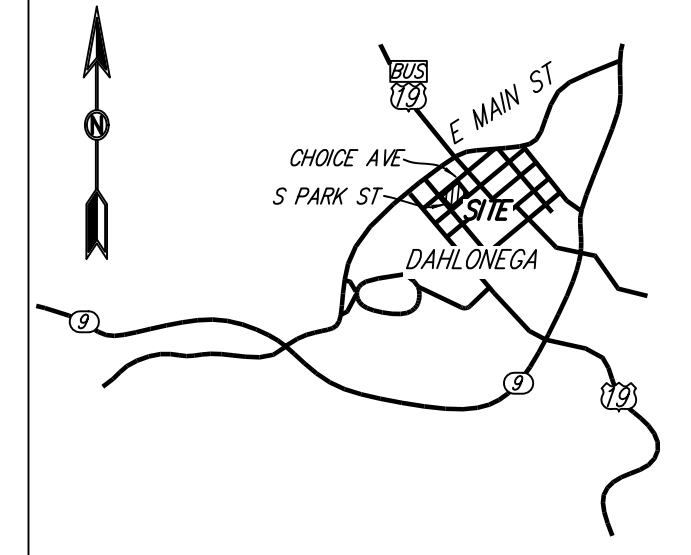
- 1) CONTRACTOR SHALL LOCATE AND IDENTIFY ALL EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE. ALL UTILITIES ARE ASSUMED TO REMAIN ACTIVE UNLESS SPECIFICALLY NOTED TO BE REMOVED OR ABANDONED.
- 2) CONTRACTOR SHALL PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT.
- 3) DEPRESSIONS OR VOID AREAS RESULTING FROM DEMOLITION ACTIVITIES ARE TO BE FILLED WITH SUITABLE MATERIAL TO AVOID WATER PONDING.
- 4) ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- 5) SITE MAY CONTAIN OTHER DILAPIDATED STRUCTURES THAT ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING ON-SITE STRUCTURES AS DEEMED NECESSARY BY THE OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



OWNER/DEVELOPER
CITY OF DAHLONEGA
465 RILEY ROAD
DAHLONEGA, GA 30533
PHONE: (706) 864-6133
ATTN: MARK BUCHANAN
mbuchanan@dahlonega.gov
VINCE HUNSINGER
vhunsinger@dahlonega.gov

24-HOUR CONTACT
VINCE HUNSINGER
(706) 973-9933



LOCATION MAP
N.T.S.

DES DAVIS
ENGINEERING & SURVEYING
133 PROMINENCE COURT
SUITE 210
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

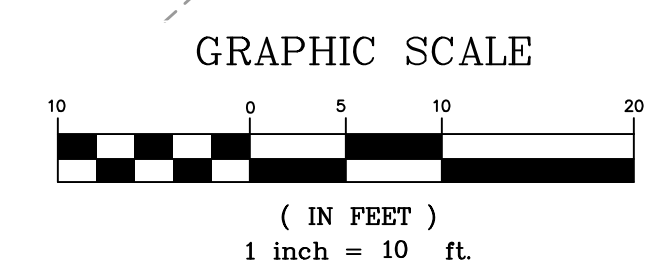
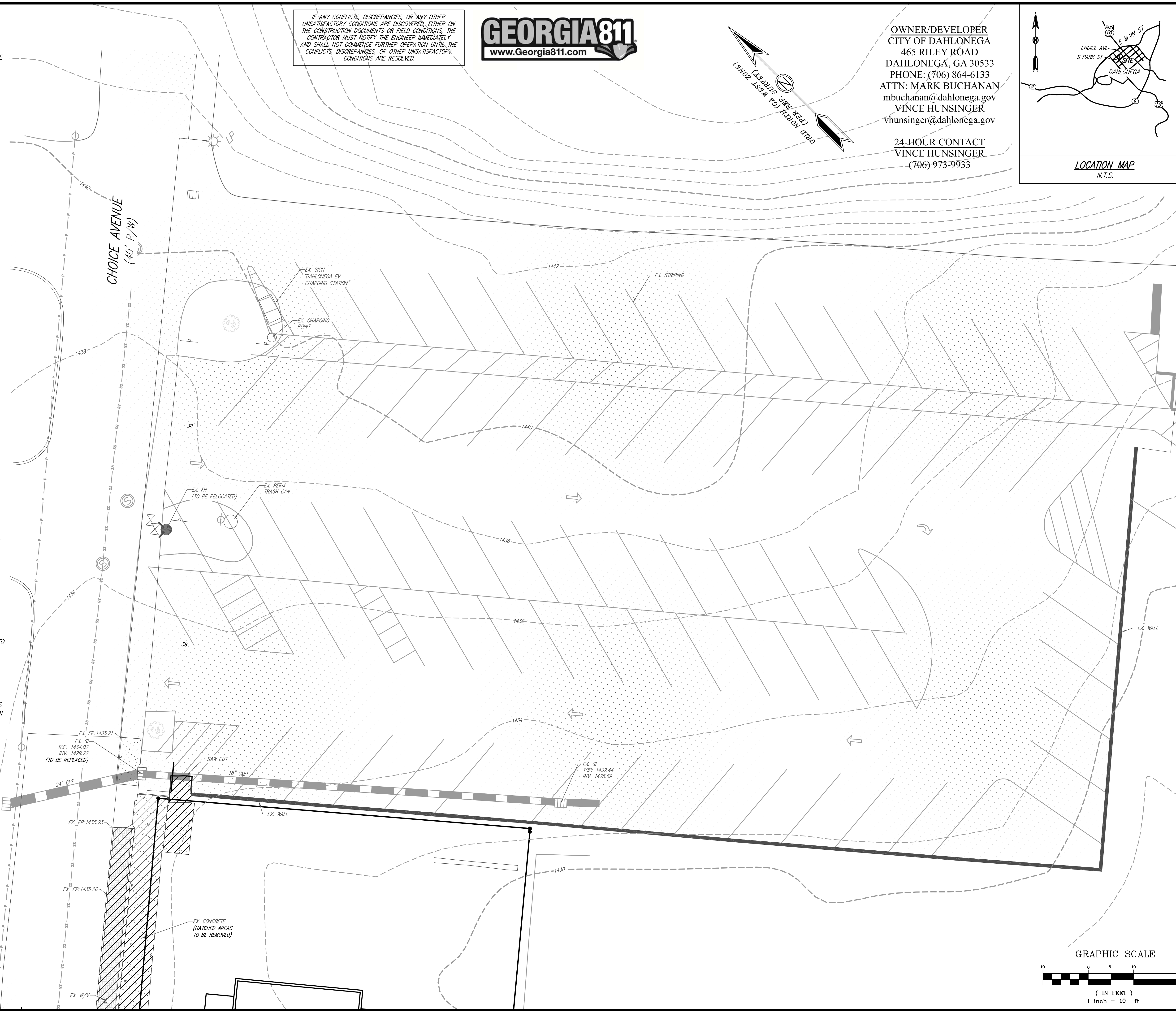
GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 034135
JASON K. DAVIS
7/26/22

REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS/DEMO PLAN (2 OF 2)
CHOICE AVENUE IMPROVEMENTS
LAND LOT
12TH DISTRICT, 1ST SECTION
CITY OF DAHLONEGA, GA

DRAWN BY: GRJ
CHECKED BY: JKD
LAND LOT: 985
DISTRICT: 12TH
SECTION: 1ST
CITY: DAHLONEGA
COUNTY: LUMPKIN
DATE: 5/8/21

SHEET NO.
3 OF 6
PROJECT NO.
2019-231.1



COPYRIGHT © 2022 THESE DRAWINGS ARE PROTECTED BY FEDERAL COPYRIGHT PROTECTION. UNAUTHORIZED USE OF THESE DRAWINGS, INCLUDING ANY REPRODUCTION OR COPY OF IT, WHETHER IN WHOLE OR IN PART, MAY RESULT IN AN IMMEDIATE ACTION.

PROJECT DESCRIPTION:
CITY IMPROVEMENTS TO CHOICE AVENUE, INCLUDING NEW CURB & GUTTER, SIDEWALK REPLACEMENT, AND PATCHING/RESURFACING ADJACENT PARKING LOT.

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVE GROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

TOPOGRAPHIC AND ELEVATION DATA FROM LUMPKIN COUNTY GIS AND FIELD RUN TOPO BY DAVIS ENGINEERING AND SURVEYING, LLC.

CONTOUR INTERVAL = 2'

PROJECT BENCHMARK:
TBM USED IS TOP OF SANITARY SEWER MANHOLE LOCATED NEAR INTERSECTION OF CHOICE AVENUE AND PARK STREET (ELEV: 1436.49) N: 1648793.2424 E: 2351612.5330

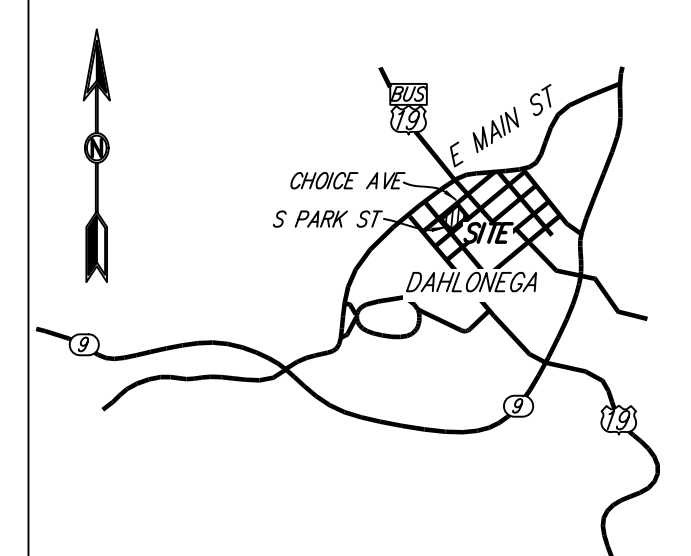
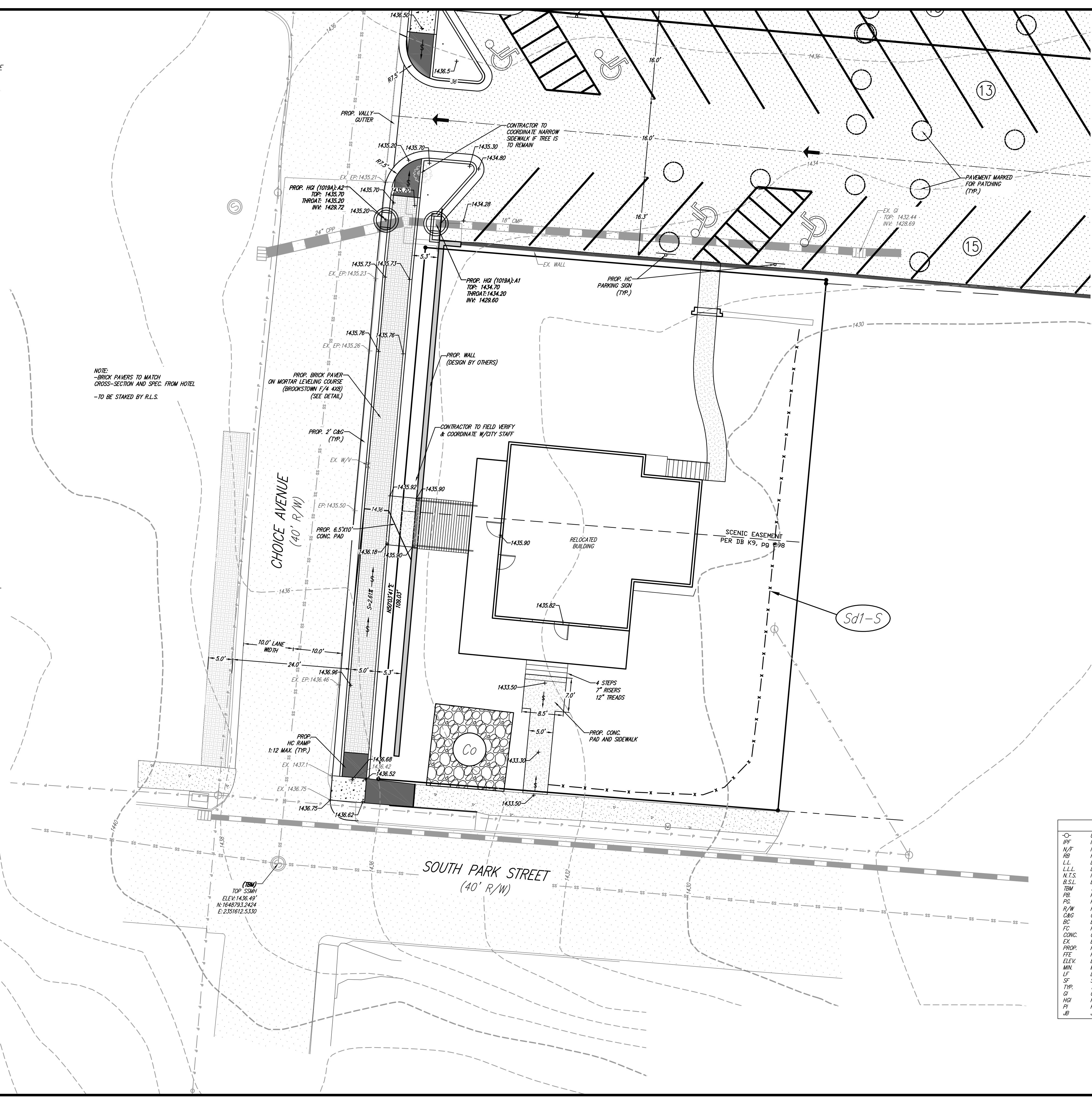
NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE MAP NO. 13187C0161D, DATED 04/04/2018.

GENERAL NOTES:

- ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF DAHLONEGA, GEORGIA REQUIREMENTS.
- ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
- CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
- MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
- THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
- TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
- NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS. MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
- THIS SITE DOES NOT CONTAIN WETLANDS.
- THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
- EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
- CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
- ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
- ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
- ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
- ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
- MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

NOTE:
-BRICK PAVERS TO MATCH CROSS-SECTION AND SPEC. FROM HOTEL
-TO BE STAKED BY R.L.S.

COPYRIGHT © 2022. THESE DRAWINGS ARE PROTECTED BY FEDERAL COPYRIGHT PROTECTION. UNAUTHORIZED USE OF THESE DRAWINGS, INCLUDING ANY REPRODUCTION OR COPY OF IT, WHETHER IN WHOLE OR IN PART, MAY RESULT IN AN INFRINGEMENT ACTION.



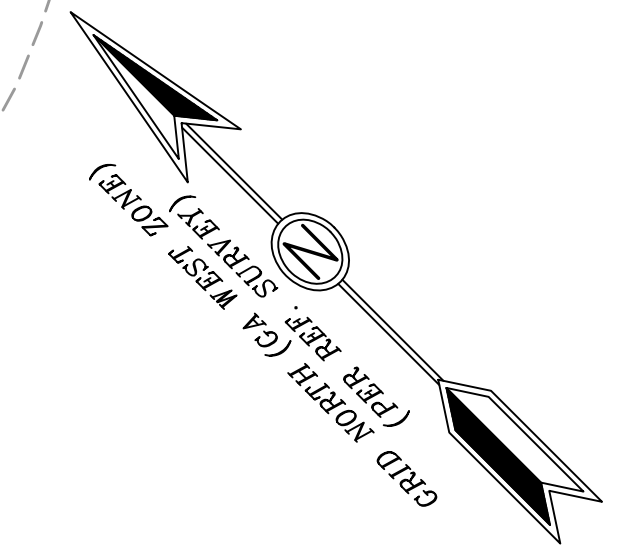
LOCATION MAP
N.T.S.

OWNER/DEVELOPER
CITY OF DAHLONEGA
465 RILEY ROAD
DAHLONEGA, GA 30533
PHONE: (706) 864-6133
ATTN: MARK BUCHANAN
mbuchanan@dahlonega.gov
VINCE HUNSINGER
vhunsinger@dahlonega.gov

24-HOUR CONTACT
VINCE HUNSINGER
(706) 973-9933



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



LEGEND			
○	UTILITY POLE	UCS	OUTLET CONTROL STRUCTURE
IPF	IRON PIN FOUND	UG	UNDERGROUND
W/F	NOW OR FORMERLY	RCP	REINFORCED CONCRETE PIPE
HB	HEADBAR	CMP	CORRUGATED METAL PIPE
L.L.	LAND LOT	CPP	CORRUGATED PLASTIC PIPE
L.L.L.	LAND LOT LINE	HDPE	HIGH DENSITY POLYETHYLENE
N.T.S.	NOT TO SCALE	SSMH	SANITARY SEWER MANHOLE
S.S.L.	BUILDING SETBACK LINE	SS-C/O	SANITARY SEWER CLEANOUT
TBM	TEMPORARY BENCH MARK	FH	FIRE HYDRANT
FB	FLAT BOOK	WM	WATER METER
FR	FACE	WV	WATER VALVE
R/W	RIGHT OF WAY	GV	GATE VALVE
C&G	CURB AND GUTTER	DDC	DOUBLE DETECTOR CHECK
BC	BACK OF CURB	BFP	BACK FLOW PREVENTER
FC	FACE OF CURB	DRP	DUCTILE IRON PIPE
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE
EX.	EXISTING	INV	INVERT
PROP.	PROPOSED	TW	TOP OF WALL
FTE	FINISHED FLOOR	BW	BOTTOM OF WALL
ELEV.	ELEVATION	S.S.E.	SANITARY SEWER EASEMENT
MIN	MINIMUM	D.E.	DRAINAGE EASEMENT
LF	LINEAR FEET	---	TENDE
SF	SQ SQUARE FEET	-X-X-	SILT FENCE
TFP	TYPICAL	-P-	POWER
W	WATER	-W-	WATER
HOI	HODDED GRATE INLET	-SS-	SANITARY SEWER
PI	PEDESTAL INLET	-----	BUILDING SETBACK LINE
JB	JUNCTION BOX		



REVISION	DATE	DESCRIPTION

SITE & GRADING PLAN (1 OF 2)
CHOICE AVENUE IMPROVEMENTS
LAND LOT
12TH DISTRICT, 1ST SECTION
CITY OF DAHLONEGA, GA

DRAWN BY: GRJ
CHECKED BY: JKD
LAND LOT: 985
DISTRICT: 12TH
SECTION: 1ST
CITY: DAHLONEGA
COUNTY: LUMPKIN
DATE: 5/8/21

SHEET NO.
4 OF 6
PROJECT NO.
2019-231.1

PROJECT DESCRIPTION:
CITY IMPROVEMENTS TO CHOICE AVENUE, INCLUDING NEW CURB & GUTTER, SIDEWALK REPLACEMENT, AND PATCHING/RESURFACING ADJACENT PARKING LOT.

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVE GROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

TOPOGRAPHIC AND ELEVATION DATA FROM LUMPKIN COUNTY GIS AND FIELD RUN TOPO BY DAVIS ENGINEERING AND SURVEYING, LLC.

CONTOUR INTERVAL = 2'

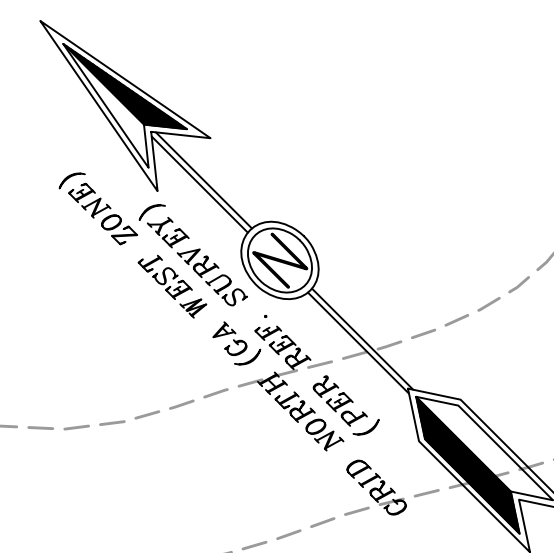
PROJECT BENCHMARK:
TBM USED IS TOP OF SANITARY SEWER MANHOLE LOCATED NEAR INTERSECTION OF CHOICE AVENUE AND PARK STREET (ELEV: 1436.49) N: 1648793.2424 E: 2351612.5330

NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE MAP NO. 13187C0161D, DATED 04/04/2018.

GENERAL NOTES:

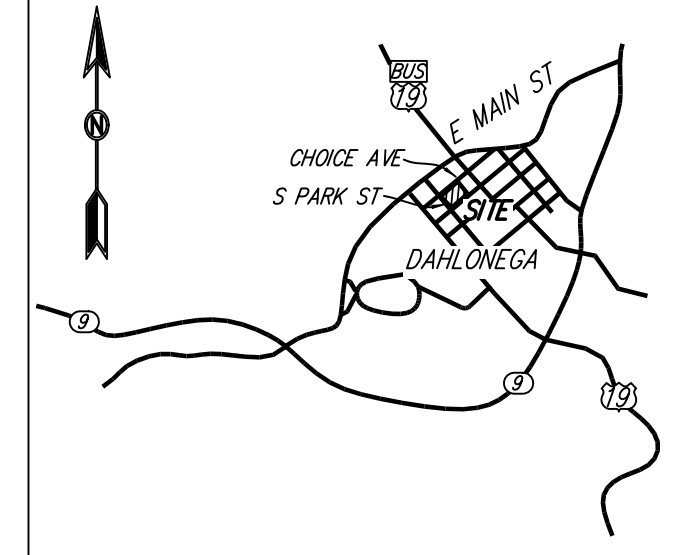
- 1) ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH CITY OF DAHLONEGA, GEORGIA REQUIREMENTS.
- 2) ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES HORIZONTAL SEPARATION STANDARDS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN HORIZONTAL SEPARATION STANDARDS AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
- 3) CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- 4) ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
- 5) MATTERS OF RECORD NOT SHOWN HEREON ARE EXCEPTED.
- 6) THE UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN WERE FOUND PER ABOVE GROUND EXAMINATION OF THIS SITE, BASED ON VISIBLE INDICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
- 7) IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
- 8) TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
- 9) NO MATERIAL CAN BE BURIED ONSITE WITHOUT THE APPROVAL OF THE OWNER AND GEOTECHNICAL ENGINEER.
- 10) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
- 11) CONTRACTOR IS TO REMOVE ALL ROCK, TOPSOIL, AND UNSUITABLE MATERIALS.
- 12) MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
- 13) THIS SITE DOES NOT CONTAIN WETLANDS.
- 14) THIS SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
- 15) EXISTING FEATURES SHOWN BY DASHED LINES OR SHADED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
- 16) CONTRACTOR RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO A CONDITION EQUAL TO OR GREATER THAN THE ORIGINAL CONDITION.
- 17) ALL HDPE PIPE TO CONFORM TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
- 18) CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
- 19) ALL SIGNAGE AND STRIPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
- 20) PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DOCUMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. IF DISCREPANCIES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
- 21) ALL EXISTING MANHOLE COVERS, METER BOXES, AND OTHER UTILITY APPURTENANCES LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
- 22) ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
- 23) MUTCD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DISRUPTION.

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



OWNER/DEVELOPER
CITY OF DAHLONEGA
465 RILEY ROAD
DAHLONEGA, GA 30533
PHONE: (706) 864-6133
ATTN: MARK BUCHANAN
mbuchanan@dahlonega.gov
VINCE HUNSINGER
vhunsinger@dahlonega.gov

24-HOUR CONTACT
VINCE HUNSINGER
(706) 973-9933

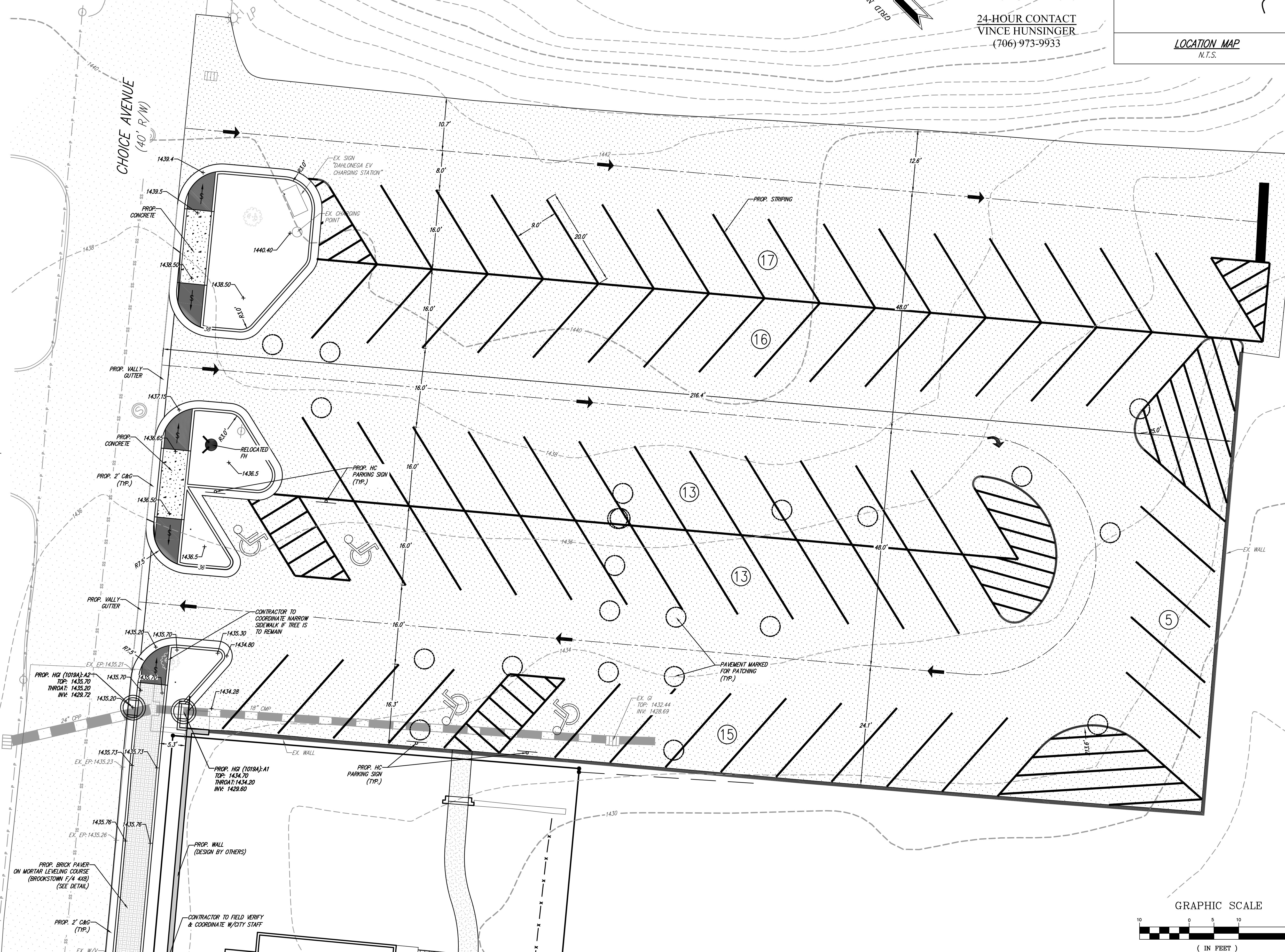


LOCATION MAP
N.T.S.



REVISION	DATE	DESCRIPTION

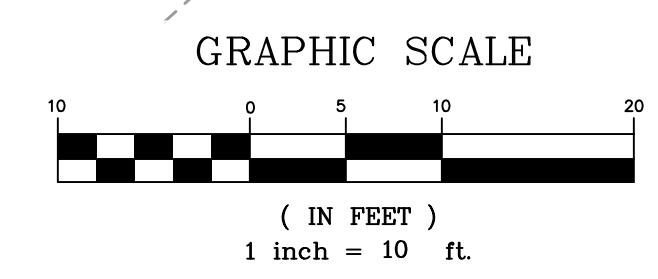
COPYRIGHT © 2022 THESE DRAWINGS ARE PROTECTED BY FEDERAL COPYRIGHT PROTECTION. UNAUTHORIZED USE OF THESE DRAWINGS, INCLUDING ANY REPRODUCTION OR COPY OF IT, WHETHER IN WHOLE OR IN PART, MAY RESULT IN AN IMMEDIATE ACTION.

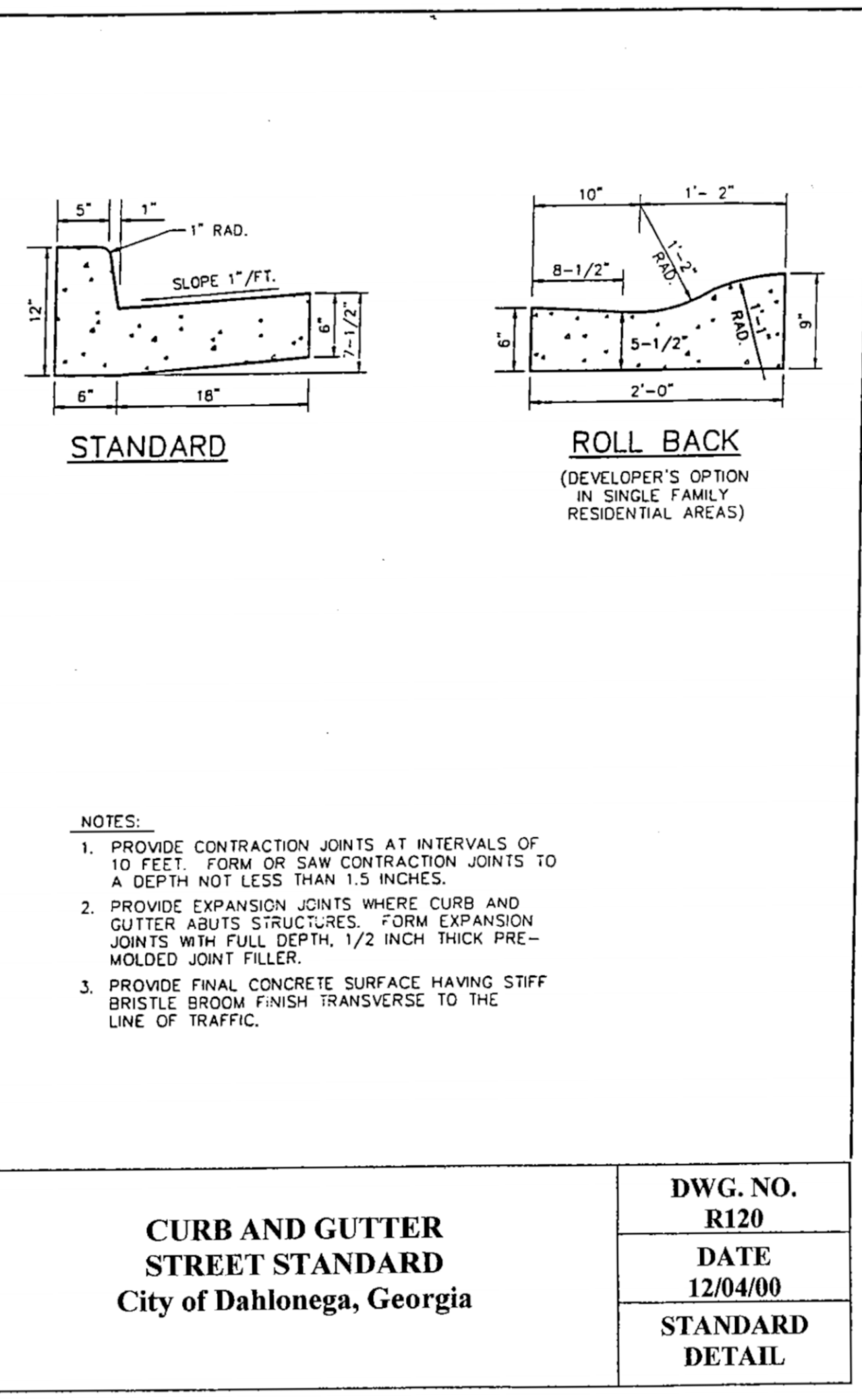
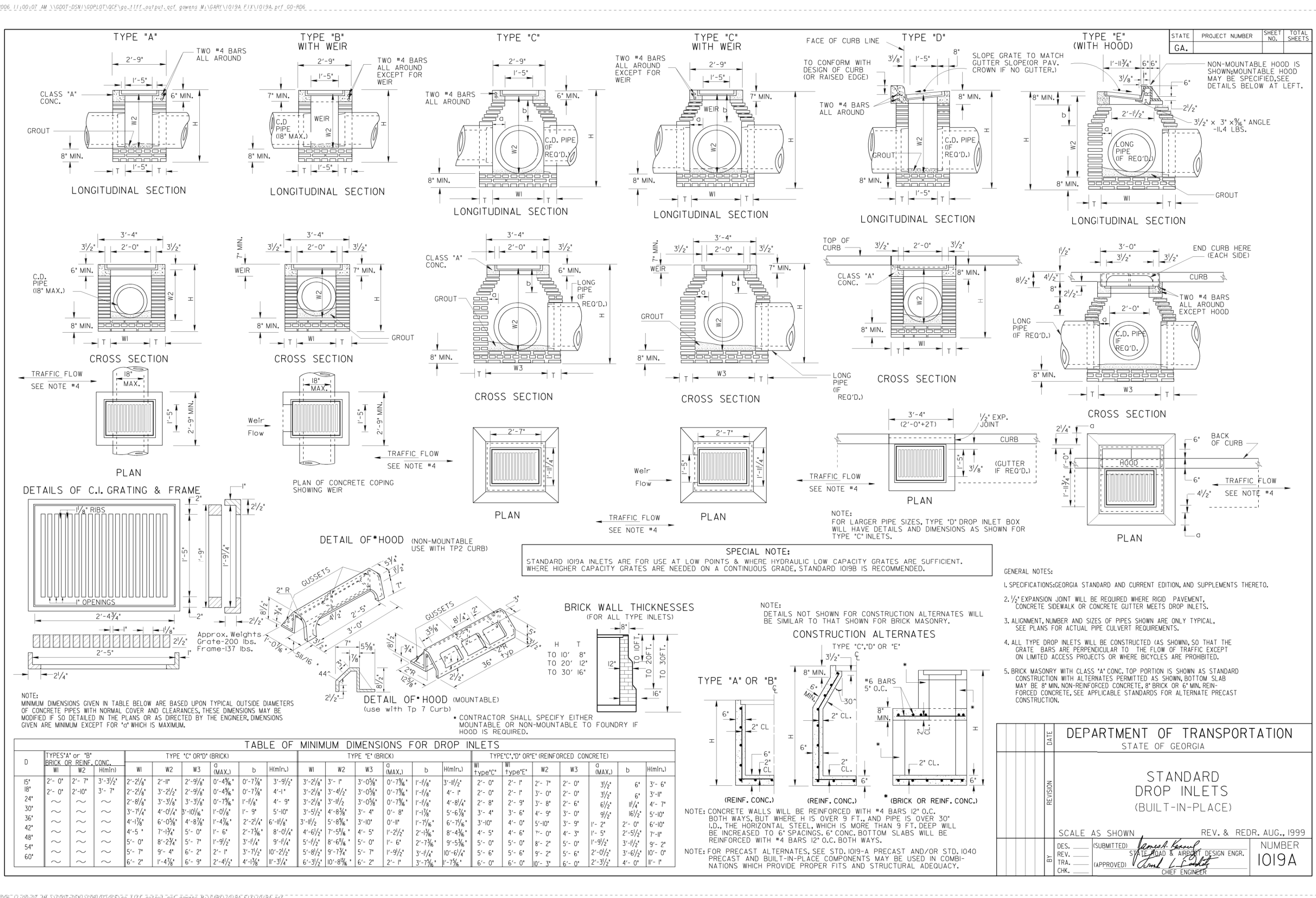


SITE & GRADING PLAN (2 OF 2)
CHOICE AVENUE IMPROVEMENTS
LAND LOT 985
12TH DISTRICT, 1ST SECTION
CITY OF DAHLONEGA, GA

DRAWN BY:	GRJ
CHECKED BY:	JKD
LAND LOT:	985
DISTRICT:	12TH
SECTION:	1ST
CITY:	DAHLONEGA
COUNTY:	LUMPKIN
DATE:	5/8/21

SHEET NO.
5 of 6
PROJECT NO.
2019-231.1



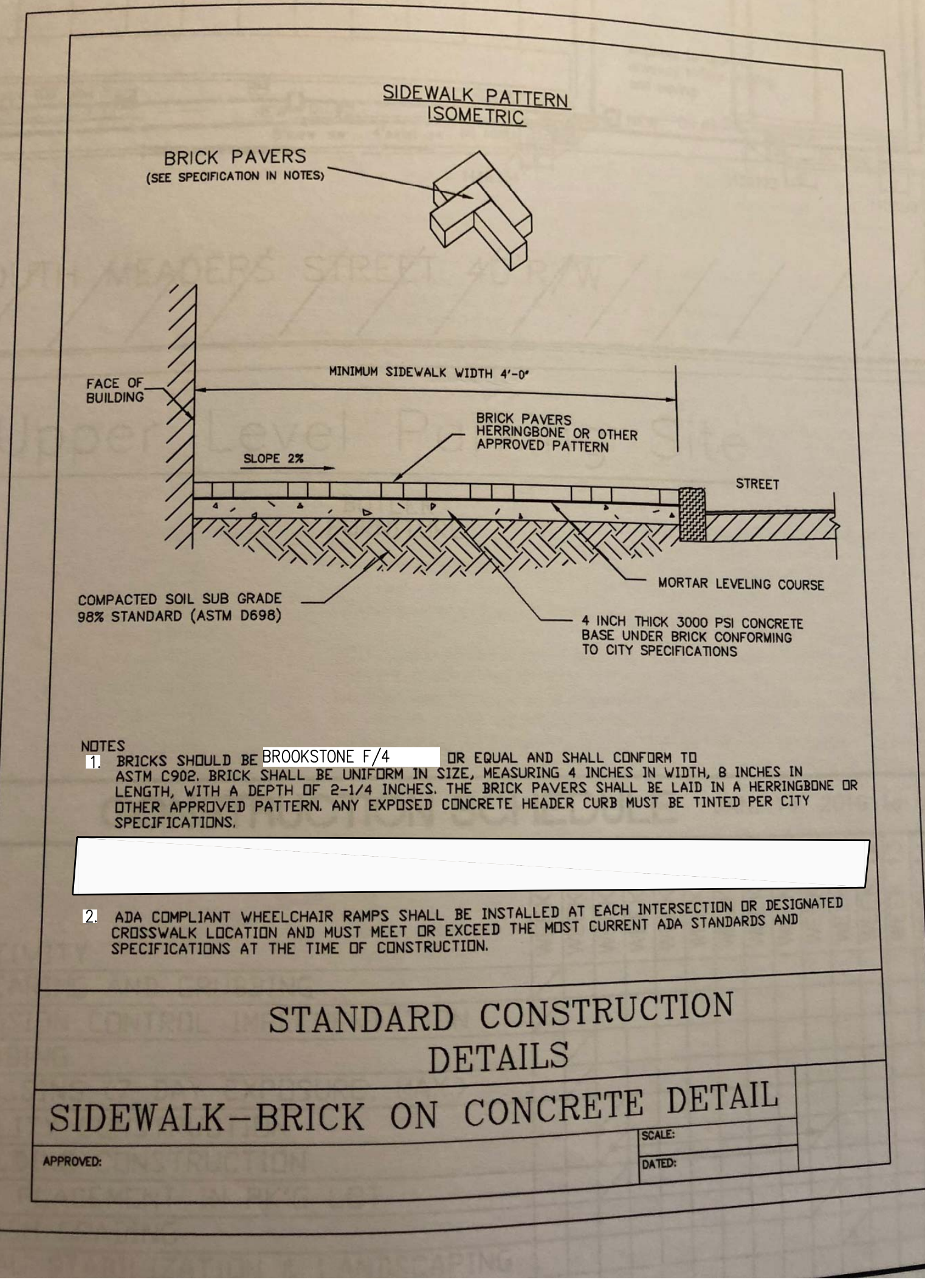


COPYRIGHT © 2022 THESE DRAWINGS ARE PROTECTED BY FEDERAL COPYRIGHT PROTECTION. UNAUTHORIZED USE OF THESE DRAWINGS, INCLUDING ANY REPRODUCTION OR COPY OF IT, WHETHER IN WHOLE OR IN PART, MAY RESULT IN AN INFRINGEMENT ACTION.

DES DAVIS
ENGINEERING & SURVEYING
133 PROMINENCE COURT
SUITE 210
DAWSONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
No. 034135
JASON K. DAVIS
7/26/22

REVISION	DATE	DESCRIPTION



CONSTRUCTION DETAILS
CHOICE AVENUE IMPROVEMENTS
LAND LOT 12TH DISTRICT, 1ST SECTION
CITY OF DAHLONEGA, GA

DRAWN BY: GRJ
CHECKED BY: JKD
LAND LOT: 985
DISTRICT: 12TH
SECTION: 1ST
CITY: DAHLONEGA
COUNTY: LUMPKIN
DATE: 5/8/21

SHEET NO.
6 OF 6
PROJECT NO.
2019-231.1